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पश्चिमवङ्ग पश्चिम बंगाल WEST BENGAL

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Certified that the document is admitted to registration The Signature Sheet and endorsement Sheet which are attached in this document are the part of this document

A.D.S.R / Howrah

01 JUN 2022

**DEVELOPMENT AGREEMENT**

THIS DEVELOPMENT AGREEMENT is made on this the ...31st Day of May, 2022 (Two Thousand and Twenty Two)

**BETWEEN**

Malpanchhara, District

SCOS YAMTC

NO. 3296 DATE 30/05/2022

AMOUNT 5000 RUPEES PAISE

NAME Tarak Nath Saroj  
ADDRESS 56, Madhab Babu Lane, Chudhuri, Howrah



COMP VENDOR - SCUMYA BANERJEE  
CIVIL COURT, HOWRAH

*Scumya Banerjee*  
1-5000

Birenjitkumbar



6973

Birenjitkumbar



6974

Tarak Nath Saroj



6975

Arjun Kumar DAS

Additional District Sub-Registrar  
Howrah

31 MAY 2022

**SRI BIRENJIT KUMAR PAUL (PAN NO. AFEP2841P AND AADHAAR CARD NO. 2328 9459 3353)**, Son of Rakshoda Prasad Paul, by faith- Hindu, by occupation- Retire from Service, residing at 22, Ram Charan Naskar Lane, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah- 711107, hereinafter referred to as the **LANDOWNER/ FIRST PARTY** (which terms and expression shall unless excluded by or repugnant to the context be deemed to mean and include his heirs, executors, administrators, legal representatives and assigns) party of the **ONE PART**.

**AND**

**TARAK NATH SAROJ (PAN NO. BMPPS3115Q and AADHAAR NO.7154 7782 5114)**, Son of Munirika Saroj, by faith- Hindu, by occupation- Business, residing at 56, Madhab Babu Lane, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah-

711107, sole proprietor of **M/S. SHIVAM REAL ESTATE**, a proprietorship firm, having its registered Office at 17, Girish Ghosh Lane, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah, West Bengal, Pin- 711109, hereinafter referred to as the **DEVELOPER** (which term and expression shall unless excluded by or repugnant to the, unless by or repugnant to the context be deemed to mean and include his respective heirs, executors, administrators, legal representatives and assigns) party of the **SECOND PART**.

**WHEREAS ALL THAT** piece and parcel of Mokorori Mourosi Bastu Land measuring 14 Cottahs 4 Chattaks 24 Sq. ft. which is physically measuring about 14 Cottah 8 chattaks 29 Sq. ft. with structures standing thereon comprised within Howrah Municipal Corporation holding No. 53, Jaya Bibi Road, Howrah Municipal Corporation Ward No.1, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah-

711107 was jointly owned and possessed by **SURYA KUMAR PAUL** Son of Late Jitendra Nath Paul and **SMT. KATYANI PAUL** wife of Late Rakhsada Prasad Paul and Minor **BIRENJIT KUMAR PAUL**, Son of Late Rakhsada Prasad Paul and whereas the aforesaid co-sharers for their convenience amicably partitioned the said property by metes and bounds and to that effect a Partition Deed was executed by them on 30<sup>th</sup> day of July, 1956 and the same was registered in the Office of the Sub- Registrar at Howrah and recorded in Book No. 1, Volume No. 60, Pages from 50 to 67 being No. 3725, for the year 1956.

**AND WHEREAS** by virtue of said registered Deed of Partition dated 30<sup>th</sup> day of July, 1956, the land measuring about 7 Cottah 8 Chattaks 9 Sq. ft. with structure standing thereon comprised in said municipal holding no. 53, Jaya Bibi Road, Howrah Municipal Corporation Ward No.1, Post Office- Ghosuri, Police Station- Malipanchghora, District- Howrah- 711107 was

jointly allotted in favour of said **KATYANI PAUL** and her Minor Son **BIRENJIT KUMAR PAUL** and whereas their allotted property has been shown by colour "**YELLOW**" border and marked as Lot No. "B" in the plan annexed thereto.

**AND WHEREAS** subsequently by physical measurement of lot "B" land it has become 7 (Seven) Cottahs 1 (One) Chattaks 15 (Fifteen) Sq. ft..

**AND WHEREAS** since partition said **KATYANI PAUL** (now deceased) and her minor son **BIRENJIT KUMAR PAUL** were in joint possession of their said property by mutating their names in Howrah Municipal Corporation and by exercising all acts of ownership and whereas after mutation the holding No. of the property of said **KATAYANI PAUL** and her minor son **BIRENJIT KUMAR PAUL** has become re-numbered as 53/1, Jaya Bibi Road, Howrah Municipal Corporation Ward No.1, Post Office-

Ghusuri, Police Station- Malipanchghora, District-  
Howrah- 711107.

**AND WHEREAS** said **SMT. KATYANI PAUL** died  
intestate on 11. 10.1991 leaving behind surviving her only  
son namely **BIRENJIT KUMAR PAUL** as only legal heir and  
legal representative who has solely inherited undivided 1/2  
share of the aforesaid property left said by the deceased  
**KATYANI PAUL** and her husband Rakshada Prasad Paul  
predeceased her wife.

**AND WHEREAS** after the death of his mother **SMT.**  
**KATYANI PAUL**, the present owner/ First Party has become  
absolute owner all that piece and parcel bastu land  
measuring 7 (Seven) Cottahs 1 (One) Chattaks 15 (Fifteen)  
Sq. ft. with R.T. shed structures standing thereon comprised  
in Howrah Municipal Corporation holding No. 53/1, Jaya  
Bibi Road, Post Office- Ghusuri, Police Station-  
Malipanchghorah, District- Howrah- 711107 and  
is now in exclusive possession of the said property

by recording his name in L.R. Record of Rights under separate L.R. Khatian No. 162 and L.R. Dag No. 332 and Mouza- and Police Station- Malipanchghorah, J. L. No. 01, Sheet No. 09, District- Howrah.

**AND WHEREAS** for the purpose of better utilization of land and to secure handsome profits, the first party hereto have decided to develop the said property as described in the schedule 'A' hereunder written by making construction of the multi-storied building thereon but owing to lack of technical knowledge experience and funds, the owner failed to proceed with the proposed construction work and therefore approached the second party hereto {who happens to be an experienced and financially capable Developer }, to raise and/ or erect the proposed (G+4) multi storied building upon the land of the "Said Property" and the second party, after having several discussions with the landowner/ owner, has agreed to make construction of



multi-storied building upon the 'A' Schedule Property and the parties hereto have voluntarily formulated a scheme for a development of the said properties in terms of the conditions specifically agreed upon between the parties hereto as mentioned hereunder to avoid further complication, if any;

**NOW THIS AGREEMENT WITNESSETH** and it is hereby agreed by and between the parties hereto as follows :-

**ARTICLE -1 DEFINATION :**

Unless in these presents it is repugnant to or inconsistent the following words and/or expression shall mean as hereinafter mentioned.

1. **LANDOWNER** shall mean the above named Land owner i.e. **SRI BIRENJIT PAUL**, Son of Rakshada Prasad Paul, by faith- Hindu, by occupation- Retire from Service, residing at 22, Ram Charan Naskar Lane, Post Office- Ghusuri, Police Station- Malipanchghorah, District- Howrah- 711107.

2. **DEVELOPER** shall mean the above named developer **TARAK NATH SAROJ (PAN NO. BMPPS3115Q and AADHAAR NO.7154 7782 5114)**, Son of Munirika Saroj, by faith- Hindu, by occupation- Business, residing at 56, Madhab Babu Lane, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah- 711107, sole proprietor of **M/S. SHIVAM REAL ESTATE**, a proprietorship firm, having it registered Office at 17, Girish Ghosh Lane, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah, West Bengal, Pin- 711109, and their heirs, appointers, executors, administrators, legal representatives and assignees.

3. **SAID PROPERTY** shall mean the above mentioned and hereunder written All that piece and parcel of Bastu land measuring 7 (Seven) Cottahs 1 (One) Chattaks 15 (Fifteen) Sq. ft. with R.T. shed structures standing thereon comprised in Howrah Municipal Corporation holding No. 53/1, Jaya Bibi Road, Post Office-

Ghusuri, Police Station- Malipanchhora, District- Howrah- 711107, under Howrah Municipal Corporation Ward No. 01, which morefully and particularly mentioned in the Schedule "A" hereunder Written.

4. **NEW BUILDING** shall mean the G+4 Storied i.e. Five storied building to be constructed on the said property in accordance with building plan to be sanctioned by the appropriate authority of Howrah Municipal Corporation at the cost of the Developer.

5. **THE UNIT** shall mean the fully or wholly constructed flat/ apartment in the building which is agreed to be completed by the Second Party/ Developer and also include a proportionate share in common portion of said property and structures whatsoever the case may be.

6. **PROPORTIONATE OR PROPORTIONATE PORTION OR PROPORTIONATELY** shall mean the ratio between the buildup area the total constructed portion within the said property.

7. **THE COMMON PORTION** shall mean and include the common portions to be made and erected for convenience of the intending purchasers and for lawful occupiers.

8. **THE ARCHITECT** shall mean such Architects appointed by the Developer as Architect for the building or such Architect or Architects as may be appointed by the Developer, the cost of which will be borne by the Developer.

9. **TRANSFERRABLE SPACE** shall mean space of the building available for independent use and occupation after making due provisions for common area and facilities and space required therefore proportionately.

10. **OWNERS ALLOCATION** shall mean owner will get entire ground floor of proposed building and he will further get 46% of total constructed area from 2<sup>nd</sup> floor to 4<sup>th</sup> floor of said proposed building and 30% of total constructed area of each additional floors from 5<sup>th</sup> floor to

onwards of said proposed building. with right, title and interest in common facilities including the right of using the said facilities with right to undivided proportionate impartible share in the land which is more fully and specifically described Schedule "B" hereunder. The said allocation will be provided by the developer from the proposed new G+ 4 storied building to be constructed upon holding No. 53/1, Jaya Bibi Road, Post Office-Ghusuri, Police Station- Malipanchghora, District-Howrah- 711107, under Howrah Municipal Corporation Ward No. 01, with proportionate share right, title and interest in common facilities with right of using of roof of the Top Floor of the building. Be it mentioned here that the existing tenants will be within owner's allocation.

**11. DEVELOPER'S ALLOCATION** shall mean the developer will get entire First floor and he will further get balance 54% of total constructed area from the 2<sup>nd</sup> floor to 4<sup>th</sup> floor and balance 70% total constructed area of

additional floors from 5<sup>th</sup> floor to onwards of said proposed building which is more fully and specifically described Schedule "C" herein below apart from the land owner allocation of the proposed new G+4 storied building to be constructed upon holding No. 53/1, Jaya Bibi Road, Post Office- Ghusuri, Police Station- Malipanchghora, District- Howrah- 711107, under Howrah Municipal Corporation Ward No. 01 which is morefully and specifically described in the "B" Schedule herein under below, together with proportionate share, right, title and interest in common facilities and amenities including the right of using the said facilities with right to the undivided proportionate impartible share in the land of the "A" Schedule property with all right of the Developer to negotiate for sale out of said portion either to the intending purchaser or purchasers for adjustment of their expenditure and investment of finance for raising

the said construction at the said property morefully described in Schedule "A" herein below, in that case the owner will not be entitled to raise any objection.

**12. WORD IMPORTING SINGULAR** shall include plural and vise- versa.

**13. WORD IMPORTING MASCULINE GENDER** shall include feminine and neutral genders, likewise words importing feminine genders shall mean and include masculine and neutral gender shall include masculine and feminine gender.

**14. THE DATE OF DELIVERY** shall mean and include the date on which the landowner shall handover possession of the said property to the Developer for starting the construction work of proposed building at the said property after obtaining sanctioned plan taking proper receipt of such acceptance and further after making the construction of the owner's allocation, as mentioned above, shall be handover to the owner by the Developer and in that

case the date of giving such possession shall be noted as delivery of possession for the new construction.

**15. STIPULATED PERIOD** The Developer will hand over the possession of the Owner's allocation within 36 Months from the date of Sanctioned plan to be issued by Howrah Municipal Corporation

**16. SALEABLE PORTION :** shall mean and include the portion which is to be allocated in favour of the Developer by this presents.

**ARTICLE - II : COMMENCEMENT:**

1. This agreement shall be deemed to have commenced on and from the date of execution of these presents.

**ARTICLE- III: OWNERS RIGHT AND REPRESENTATIONS:**

1. That the party of first part is absolutely seized and possessed of and/or otherwise well and sufficiently entitled to enjoy and transfer the said property or any part



of it.

2. That excepting the party of the first part nobody else have any right, title and interest, claim and demand whatsoever or how so ever into or upon the said property.

3. That the party of the first part in co- operation with the Developer will arrange for taking no objection for the proposed construction from the existing tenants.

4. That the said property is free from all encumbrances, charges, liens, lispence, attachments, trusts whatsoever or howsoever.

5. That the Landowner undertake to handover the peaceful possession of the said property for the purpose of raising the new construction of multi-storied building at the aforesaid properties by the second party/Developer.

6. That the purpose of proper and smooth working the Landowner shall execute and register a general power of attorney in favour of the Developer for all works, acts, things and others acts as mentioned in this agreement in

respect of proposed construction or connected with the construction and sale of the flats of the developer's allocation of the total constructed area.

**ARTICLE - IV : DEVELOPER'S RIGHT:**

1. That by virtue of this agreement, the Developer/second party is hereby empowered to raise the construction of the multi-storied building at the above mentioned property by investing their own finance and resources. The proposed building will be constructed as per the rules, regulations and norms of Howrah Municipal Corporation and the Developer is solely responsible for any deviation or irregularity or illegality for the construction and any charges of fine if imposed will be paid by the Developer.

2. That the Developer /the party of the Second part herein shall have right to exploit his own allocation of the total constructed area, as mentioned above and can sell the same with putting due possession to the intending purchaser/ purchasers. The Second party/ Developer shall

have right to enter into agreement for sale with the intending purchaser or purchasers in his own allocated share and in no case the party of first part shall have any liability for the independent transaction of the Developer or any liability for the same.

3. The Developer/Second party shall be entitled to appoint its own labours, masons, contractor, builder, engineer, architect for necessary raising up the new construction but in doing so all expenses with regard to such appointed persons shall be borne by the Developer. That the Developer will use the good quality material for the proposed construction. Developer will execute proper piling foundation and maintain good progress and security of work of construction

4. That the Developer can take booking amount from the intending purchaser in his own allocation of the proposed G+4 storied building.

5. That the Developer shall have absolute right to

enter into agreement for sale with intending purchaser of any other agreement with any person in its own allotted portion.

6. The Developer shall have absolute right to receive entire consideration amount/construction costs/sale in respect of its own allocated portion.

**ARTICLE-V: DEVELOPER'S RIGHTS AND REPRESENTATION :**

1. The Developer do hereby undertake to complete the entire construction of the proposed building (G+4) within 36 (Thirty Six) months from the date of Sanctioned Plan. This period may be extended due to force majeure or unavoidable circumstances arise.

2. That the Developer will bear all cost for obtaining sanctioning plan for the proposed construction.

3. That the developer shall start the construction work after obtaining sanctioned plan from the Howrah Municipal Corporation. The Developer will demolish the

existing structure at his own cost and after demolition all rubbish of old building materials, will be taken by the Developer. The developer for the purpose of construction of the building will temporary shift the existing tenants to nearby location at his own cost and the existing tenants will be re-instated or re-delivered after completion of the construction in the Ground floor of the proposed building. The developer shall bear all rental and other charges of the existing tenants till the delivery of possession of the owners allocation of proposed multi-storied building.

**ARTICLE - VI: CONSTRUCTION:**

1. The Developer shall be solely and exclusively responsible for construction of the said properties.

**ARTICLE - VII : BUILDING:**

1. The Developer shall construct, erect and complete the proposed building at its own cost and the common facilities and also amenities at the said premises with good and standard quality of materials.

2. The Developer shall erect the proposed building on the said properties at its own cost as per the specification and also as per drawing provided by the architect, pump water storage tanks, overhead reservoirs, electrification, permanent electric connection from the C.E.S.C Ltd. and electrification in all Floors and also in respective flats through concealed wiring and other facilities as are required to be provided in a residential multi-storied building.

3. The Developer shall complete the proposed building with outer plaster with colour.

### **ARTICLE - VIII : COMMON FACILITIES & COMMON**

#### **EXPENSES:**

1. All the flat owners after taking delivery of possession from the developer will bear the cost of maintenance charges like cost of darwans, pump motor and electric charges etc. in the common area proportionately as per his respective possession including proportionate share

of premium for the insurance of the building, if any water, fire and scavenging charges etc.

**ARTICLE - IX : DEVELOPER'S INDEMNITY:**

1. The Developer hereby undertakes to keep the Landowner indemnified against all third party claim and action arising out of any sorts of acts or commission of the Developer or relating to the construction of the proposed building.

2. The Developer hereby undertakes to keep the Landowner indemnified against all acts, suits, costs, proceedings and claims that may arise out of the Developer actions with regard to the development of the said premises and/or in the matter of construction of the proposed constructed building.

**ARTICLE - X : MISCELLANEOUS :**

1. The Landowner and the Developer have entered into this agreement purely on contractual basis and nothing contained herein shall be deemed to or construed as

partnership between the Developer and the Landowner or as a joint venture between the parties hereto constitute as an association or persons.

2. That the possessory right on the roof of top floor of the building shall be with the parties of first part but the roof shall be commonly used, enjoyed by all the residents/occupiers of the building shall have free access to the roof the building for the purpose of installation of T.V. Antenna, cable wires, telephone connection and servicing the water tank, water reservoir.

3. There is no existing agreement regarding development or sale of the said property and that all other agreements, if any prior to this agreement shall be treated as cancelled and are being rescinded by this agreement.

4. In case of death of the either parties the legal heirs will be substituted in place of the parties and they shall be bound to follow the terms and conditions of this agreement.



5. If any deviation is found out during the construction of multistoried building, the first parties/land owners shall not be held responsible for the said deviation but the said deviation must be legalized by payment of fine or penalty charges to be born entirely by the Developer.

6. Without causing prejudice to the rights of owner the promoter will be at liberty to enter into separate contacts in his own name with a building contractor, etc..

**ARTICLE - XI : FORCE MAJEURE :**

1. The Developer shall not be considered to be liable for any obligations hereunder to the extent that the performance of the relevant obligation are prevented by the existence of the Force Majeure and shall be suspended from the obligations during the Force Majeure. Force Majeure shall mean flood, earthquake, riot, war, tempest, civil commotion, strike and/or any other act of commission beyond the reasonable control of the Developer.

**ARTICLE - XII : ARBITRATION**

If any time any dispute arise between the parties hereto regarding the construction or interruption of, any of the terms and conditions herein contained or touching these presents or determination of any liability of any of the parties under this agreement, the same shall be referred to the arbitrators with the meaning of the Arbitration Act, 1996 or any statutory enactment or modification there under and the said Arbitrators will be nominated by each of the parties. In case of difference with the reference of the joint Arbitrators to be appointed by the respective parties, the joint Arbitrators will appoint an umpire and his decision is final and binding upon the respective parties but none of the parties shall be entitled to stop the progress of construction or development of the said premises until such time and the award is given by the Arbitrators or the Umpire, as the case may be.

**THE "A" SCHEDULE REFERRED TO ABOVE**

**ALL THAT PIECE OR PARCEL** of Bastu Land measuring 7 (Seven) Cottahs 1 (One) Chattaks 15 (Fifteen) Sq. ft. with 600 Sq. ft. R.T. shed structures standing thereon comprised in Howrah Municipal Corporation holding No. 53/1, Jaya Bibi Road, Post Office-Ghusuri, Police Station-Malipanchghora, District-Howrah- 711107, under Howrah Municipal Corporation Ward No. 01 within the jurisdiction of District Sub-Registrar and Additional District Sub- Registrar at Howrah, which butted and bounded as follows :-

- ON THE NORTH : Property of Holding No. 53 & 53/3, Jaya Bibi Road.
- ON THE SOUTH : Jaya Bibi Road.
- ON THE EAST : Jaya Bibi Road.
- ON THE WEST : Jaya Bibi Road & G+4 building at 3, Jaya Bibi 1<sup>st</sup> Bye Lane.

**THE "B" SCHEDULE REFERRED TO ABOVE  
(OWNERS ALLOCATION)**

**THE OWNERS WILL GET** entire ground floor of proposed building and he will further get 46% of total constructed area from 2<sup>nd</sup> floor to 4<sup>th</sup> floor of said proposed building and 30% of total constructed area of each additional floors from 5<sup>th</sup> floor to onwards of said proposed building, with right, title and interest in common facilities including the right of using the said facilities with right to undivided proportionate impartible share in the land. The said allocation will be provided by the developer from the proposed new G+ 4 storied building and additional floor to be constructed upon holding No. 53/1, Jaya Bibi Road, Post Office-Ghusuri, Police Station- Malipanchghora, District- Howrah- 711107, under Howrah Municipal Corporation Ward No. 01, with proportionate share right, title and interest in common facilities with right of using

of roof of the Top Floor of the building. Be it mentioned here that the existing tenants will be within owner's allocation.

**THE "C" SCHEDULE REFERRED TO ABOVE  
(DEVELOPER'S ALLOCATION)**

**THE DEVELOPER WILL GET** entire First floor and he will further get balance 54% of total constructed area from the 2<sup>nd</sup> floor to 4<sup>th</sup> floor and balance 70% total constructed area of additional floors from 5<sup>th</sup> floor to onwards of said proposed building apart from the land owner allocation of the proposed new G+4 storied building to be constructed upon holding No. 53/1, Jaya Bibi Road, Post Office-Ghusuri, Police Station- Malipanchghora, District-Howrah- 711107, under Howrah Municipal Corporation Ward No. 01 which is morefully and specifically described in the "B" Schedule herein under below

together with proportionate share, right, title and interest in common facilities and amenities including the right of using the said facilities with right to the undivided proportionate impartible share in the land of the "A" Schedule property with all right of the Developer to negotiate for sale out of said portion either to the intending purchaser or purchasers for adjustment of their expenditure and investment of finance for raising the said construction at the said property in that case the owner will not be entitled to raise any objection.

**SCHEDULE "D" ABOVE REFERRED TO:**  
**(SPECIFICATION OF THE CONSTRUCTION**  
**WORK OF THE FLAT/ FLATS)**

Technical specification and fitting and fixtures to be

provided in the Owners allocation:-

1. **STRUCTURE** : The building will be of R.C.C. structure as per design and specification with 5" wall outside 3" wall inside.
2. **PLASTER** : Both External and Internal walls will be plastered on both sides with sand, cement and Putty and colour Inside and Outside of our of building.
3. **KITCHEN** : Flooring marble with 4" skating and cooking platform with black stone on it along with steel sink and coloured glazed tiles upto 4 feet height from cooking platform.
4. **ELECTRIC POINTS AND FITTINGS** : Concealed PVC conducts and very good quality cooper wire will be provided :
  - a. **BED ROOMS POINTS** : 3 light points, 1 fan points, 2 p.c. 5 Amp, plug point.
  - b. **LIVING CUM DINING ROOM POINTS** : 3 points lights, 1 fan points, 2 plug points

- c. **KITCHEN:** 1 light points, 1 exhaust fan point and 1 [15amp] plug point.
- d. **BATHROOM :** 2 light points, 1 Plug points
5. **WATER CONNECTION :** three points in Bath room, Two point in Kitchen, One basin points.
6. **BATH ROOM:** Flooring marble with 4" inch Skating and glazes tiles colour upto 6 feet height with plastic gate.
7. **FLOOR FINISH :** All the floor shall have marble finishing floor with skating.
8. **WINDOW:** Sliding Window with glass & box grill window.
9. **DOOR :** Commercial plywood and wooden frame sal wood.
10. **WALL:** Plastered with putty finish (without any colour and primer) in inside.
11. Lift
12. Boring.
13. Stair Case Marble, Inside Steel Railing.



IN WITNESSES WHEREOF the parties hereto sign on this agreement for development on the day, month and year, first herein above written.

Witnesses:

1. *[Handwritten signature]* *Birenjinkumbal*  
22/1 876 687 2335R  
SIGNATURE OF THE OWNER

Shivam Realestate  
Shivam Realestate  
Tarak Nath Sanyal  
Proprietor  
Proprietor

2. *[Handwritten signature]*  
S/o Tarak Nath Sanyal  
56, Madhubabulue  
Ghusuri Howrah  
SIGNATURE OF THE DEVELOPPER

Drafted by me and prepared in my office.




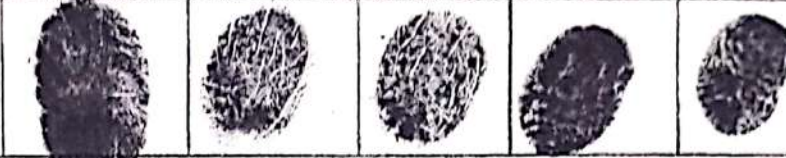
*Purnu Basak*

Advocate  
Enrol No. WB/861/1998  
Howrah Judge's Court.  
Typed by me





*[Handwritten signature]*

Howrah Court,

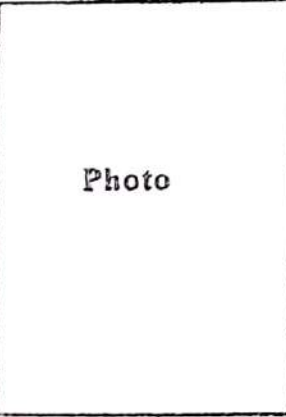
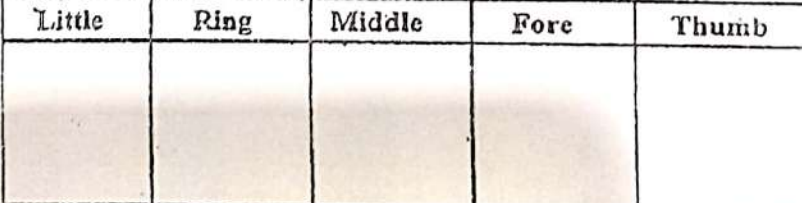
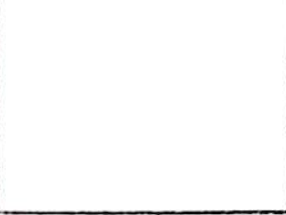
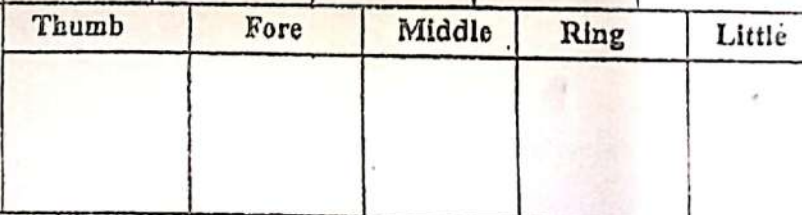
## FORM FOR TEN FINGER IMPRESSION

	Left Hand	Little	Ring	Middle	Fore	Thumb
						
	Right Hand	Thumb	Fore	Middle	Ring	Little
						

Signature Brijesh Kumar Paul

	Left Hand	Little	Ring	Middle	Fore	Thumb
						
	Right Hand	Thumb	Fore	Middle	Ring	Little
						

Signature Tarak Nath Saroj

	Left Hand	Little	Ring	Middle	Fore	Thumb
						
	Right Hand	Thumb	Fore	Middle	Ring	Little
						

Signature \_\_\_\_\_





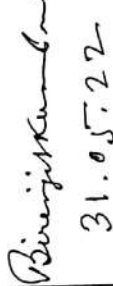






Government of West Bengal

Department of Finance (Revenue) , Directorate of Registration and Stamp Revenue

OFFICE OF THE A.D.S.R. HOWRAH, District Name :Howrah

Signature / LTI Sheet of Query No/Year 05022001448967/2022

I. Signature of the Person(s) admitting the Execution at Private Residence.

SI No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
1	Mr Birenjit Kumar Paul 22, Ram Charan Naskar Lane, City:- Howrah, P.O:- Ghusuri, P.S:- Malipanchghara, District:-Howrah, West Bengal, India, PIN:- 711107	Land Lord			 31.05.22
2	Mr Tarak Nath Saroj 56, Madhab Babu Lane, City:- Howrah, P.O:- Ghusuri, P.S:- Malipanchghara, District:-Howrah, West Bengal, India, PIN:- 711107	Represent ative of Developer [SHIVAM REAL ESTATE ]		 Tarak Nath Saroj	
SI No.	Name and Address of identifier	Identifier of	Photo	Finger Print	Signature with date
1	Mr ARUN DAS Son of Late NANDA LAL DAS Howrah Court, City:- Howrah, P.O:- Howrah, P.S:- Howrah, District:- Howrah, West Bengal, India, PIN:- 711101	Mr Birenjit Kumar Paul, Mr Tarak Nath Saroj			

(Provash Adhikary)

ADDITIONAL DISTRICT  
SUB-REGISTRAR  
OFFICE OF THE A.D.S.R.  
HOWRAH  
Howrah, West Bengal

Query No:-05022001448967/2022, 31/05/2022 11:02:00 AM HOWRAH (A.D.S.R.)

Page 3 of 3



Govt. of West Bengal  
Directorate of Registration & Stamp Revenue  
GRIPS eChallan

2023857

GRN Details

GRN: 192022230039380481 Payment Mode: Online Payment  
GRN Date: 31/05/2022 12:57:59 Bank/Gateway: State Bank of India  
BRN : CKT8145671 BRN Date: 31/05/2022 12:59:10  
Payment Status: Successful Payment Ref. No: 2001448967/3/2022  
[Query No\*/Query Year]

Depositor Details

Depositor's Name: Shivam Real Estate  
Address: 17, Girish Ghosh Lane Malipanchghara, Howrah  
Mobile: 9903110555  
Depositor Status: Buyer/Claimants  
Query No: 2001448967  
Applicant's Name: Mr RUNU BASAK  
Address: A.D.S.R. HOWRAH  
Office Name: A.D.S.R. HOWRAH  
Identification No: 2001448967/3/2022  
Remarks: Sale, Development Agreement or Construction agreement Payment No 3

Payment Details

Sl. No.	Payment ID	Head of A/C Description	Head of A/C	Amount (₹)
1	2001448967/3/2022	Property Registration- Stamp duty	0030-02-103-003-02	5020
2	2001448967/3/2022	Property Registration- Registration Fees	0030-03-104-001-16	21
			<b>Total</b>	<b>5041</b>

IN WORDS: FIVE THOUSAND FORTY ONE ONLY.

## Major Information of the Deed

Deed No :	I-0502-06385/2022	Date of Registration	01/06/2022
Query No / Year	0502-2001448967/2022	Office where deed is registered	
Query Date	17/05/2022 4:30:15 PM	A.D.S.R. HOWRAH, District: Howrah	
Applicant Name, Address & Other Details	RUNU BASAK HOWRAH JUDGES COURT,Thana : Howrah, District : Howrah, WEST BENGAL, Mob No. : 9903110555, Status :Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4305] Other than Immovable Property, Declaration [No of Declaration : 2]		
Set Forth value	Market Value		
Rs. 6,00,000/-	Rs. 90,60,863/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 10,020/- (Article:48(g))	Rs. 21/- (Article:E, E)		
Remarks	Received Rs. 50/- ( FIFTY only ) from the applicant for issuing the assement slip.(Urban area)		

### Land Details :

District: Howrah, P.S:- Malipanchghara, Corporation: HOWRAH MUNICIPAL CORPORATION, Road: Jaya Bibi Road  
Premises No: 53/1, , Ward No: 001 Pin Code : 711107

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	(RS :- )		Bastu	7 Katha 1 Chatak 15 Sq Ft	5,00,000/-	88,98,863/-	Property is on Road Adjacent to Metal Road,
<b>Grand Total :</b>				<b>11.6875Dec</b>	<b>5,00,000 /-</b>	<b>88,98,863 /-</b>	

### Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	600 Sq Ft.	1,00,000/-	1,62,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 600 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 5 Years, Roof Type: Tiles Shed, Extent of Completion: Complete					
<b>Total :</b>		<b>600 sq ft</b>	<b>1,00,000 /-</b>	<b>1,62,000 /-</b>	

**Land Lord Details :**

SI No	Name,Address,Photo,Finger print and Signature
1	<b>Mr Birenjit Kumar Paul (Presentant )</b> Son of Late Rakshada Prasad Paul 22, Ram Charan Naskar Lane, City:- Howrah, P.O:- Ghosuri, P.S:- Malipanchghara, District:-Howrah, West Bengal, India, PIN:- 711107 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: India, PAN No.:: AFxxxxxx1P, Aadhaar No: 23xxxxxxxx3353, Status :Individual, Executed by: Self, Date of Execution: 31/05/2022 , Admitted by: Self, Date of Admission: 31/05/2022 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 31/05/2022 , Admitted by: Self, Date of Admission: 31/05/2022 ,Place : Pvt. Residence

**Developer Details :**

SI No	Name,Address,Photo,Finger print and Signature
1	<b>SHIVAM REAL ESTATE</b> 17. GIRISH GHOSH LANE, City:- Howrah, P.O:- Ghosuri, P.S:-Malipanchghara, District:-Howrah, West Bengal, India, PIN:- 711107 , PAN No.:: BMxxxxxx5Q,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

**Representative Details :**

SI No	Name,Address,Photo,Finger print and Signature
1	<b>Mr Tarak Nath Saroj</b> Son of Mr Munirika Saroj 56, Madhab Babu Lane, City:- Howrah, P.O:- Ghosuri, P.S:-Malipanchghara, District:-Howrah, West Bengal, India, PIN:- 711107, Sex: Male, By Caste: Hindu, Occupation: Businessman, Citizen of: India, , PAN No.:: BMxxxxxx5Q, Aadhaar No: 71xxxxxxxx5114 Status : Representative, Representative of : SHIVAM REAL ESTATE (as PROPERIETOR)

**Identifier Details :**

Name	Photo	Finger Print	Signature
<b>Mr ARUN DAS</b> Son of Late NANDA LAL DAS Howrah Court, City:- Howrah, P.O:- Howrah, P.S:-Howrah, District:-Howrah, West Bengal, India, PIN:- 711101			
Identifier Of Mr Birenjit Kumar Paul, Mr Tarak Nath Saroj			

**Transfer of property for L1**

SI.No	From	To. with area (Name-Area)
1	Mr Birenjit Kumar Paul	SHIVAM REAL ESTATE-11.6875 Dec

**Transfer of property for S1**

SI.No	From	To. with area (Name-Area)
1	Mr Birenjit Kumar Paul	SHIVAM REAL ESTATE-600.00000000 Sq Ft





Endorsement For Deed Number : I - 050206385 / 2022

On 31-05-2022

**Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)**

Presented for registration at 16:45 hrs on 31-05-2022, at the Private residence by Mr Birenjit Kumar Paul ,Execu

**Certificate of Market Value(WB PUVI rules of 2001)**

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 90,60,863/-

**Admission of Execution ( Under Section 58, W.B. Registration Rules, 1962 )**

Execution is admitted on 31/05/2022 by Mr Birenjit Kumar Paul, Son of Late Rakshada Prasad Paul, 22, Ram Char Naskar Lane, P.O: Ghosuri, Thana: Malipanchghara, , City/Town: HOWRAH, Howrah, WEST BENGAL, India. PIN 711107, by caste Hindu, by Profession Retired Person

Indetified by Mr ARUN DAS, , , Son of Late NANDA LAL DAS, Howrah Court, P.O: Howrah, Thana: Howrah, , City/Town: HOWRAH, Howrah, WEST BENGAL, India, PIN - 711101, by caste Hindu, by profession Law Clerk

**Admission of Execution ( Under Section 58, W.B. Registration Rules, 1962 ) [Representative]**

Execution is admitted on 31-05-2022 by Mr Tarak Nath Saroj, PROPRIETOR, SHIVAM REAL ESTATE (Sole Proprietoship), 17, GIRISH GHOSH LANE, City:- Howrah, P.O:- Ghosuri, P.S:-Malipanchghara, District:-Howrah, W Bengal, India, PIN:- 711107

Indetified by Mr ARUN DAS, , , Son of Late NANDA LAL DAS, Howrah Court, P.O: Howrah, Thana: Howrah, , City/Town: HOWRAH, Howrah, WEST BENGAL, India, PIN - 711101, by caste Hindu, by profession Law Clerk



Provas Adhikary  
ADDITIONAL DISTRICT SUB-REGISTRAR  
OFFICE OF THE A.D.S.R. HOWRAH  
Howrah, West Bengal

On 01-06-2022

**Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)**

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number (g) of Indian Stamp Act 1899.

**Payment of Fees**

Certified that required Registration Fees payable for this document is Rs 21/- ( E = Rs 21/- ) and Registration Fees paid by Cash Rs 0/-, by online = Rs 21/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of W Online on 31/05/2022 12:59PM with Govt. Ref. No: 192022230039380481 on 31-05-2022, Amount Rs: 21/-, Bank State Bank of India ( SBIN0000001), Ref. No. CKT8145671 on 31-05-2022, Head of Account 0030-03-104-001-16

### Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 10,020/- and Stamp Duty paid by Stamp Rs 5,020/- by online = Rs 5,020/-

#### Description of Stamp

1. Stamp: Type: Impressed, Serial no 3296, Amount: Rs.5,000/-, Date of Purchase: 30/05/2022, Vendor name: Sou Banerjee

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of West Bengal Online on 31/05/2022 12:59PM with Govt. Ref. No: 192022230039380481 on 31-05-2022, Amount Rs: 5,020/-, Bank Name: State Bank of India ( SBIN0000001), Ref. No. CKT8145671 on 31-05-2022, Head of Account 0030-02-103-003-02



**Provash Adhikary**  
**ADDITIONAL DISTRICT SUB-REGISTRAR**  
**OFFICE OF THE A.D.S.R. HOWRAH**  
**Howrah, West Bengal**

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 0502-2022, Page from 240288 to 240332  
being No 050206385 for the year 2022.



Digitally signed by PROVASH  
ADHIKARY  
Date: 2022.06.07 11:10:33 +05:30  
Reason: Digital Signing of Deed.

(Provash Adhikary) 2022/06/07 11:10:33 AM  
ADDITIONAL DISTRICT SUB-REGISTRAR  
OFFICE OF THE A.D.S.R. HOWRAH  
West Bengal.

(This document is digitally signed.)